





Park Road is a well-presented family home offering spacious and practical accommodation throughout. The property features a welcoming entrance hallway leading to a bright front lounge with a bay window, and a generous open-plan kitchen/dining room fitted with modern units, integrated appliances, and sliding doors opening onto the rear garden—ideal for everyday living and entertaining.

Additional ground floor accommodation includes a useful utility room, separate WC, and boiler cupboard providing excellent storage and convenience.

To the first floor, there are three well-proportioned bedrooms along with a modern family bathroom fitted with a three-piece suite and shower over bath.

Further benefits include UPVC double glazing, gas central heating, and a thoughtful layout designed for comfortable family living.



## Lounge

A bright and comfortable reception room featuring a UPVC double-glazed bay window to the front elevation. Additional benefits include a central heating radiator and telephone point, creating an ideal space for relaxing or entertaining.

## Kitchen/Diner

A spacious open-plan kitchen and dining area fitted with a range of matching base and eye-level units with wood-effect work surfaces. Integrated features include a stainless steel sink with mixer tap and drainer, gas hob with extractor hood, and oven/grill, alongside space for additional freestanding appliances.

The room is well lit with UPVC double-glazed sliding patio doors opening onto the rear garden and a further side window. Additional features include spotlighting to the ceiling, central heating radiator, and smoke alarm. Internal access leads through to the utility room.

## Utility Room

Practical utility space with plumbing and provision for under-counter appliances. Featuring a wood-effect work surface, central heating radiator, smoke alarm, thermostat, UPVC double-glazed side window, and a frosted side access door. Internal doors provide access to the WC and boiler cupboard.

## W.C.

Comprising a low-level WC, extractor fan, central heating radiator, and a UPVC double-glazed frosted window to the side elevation.



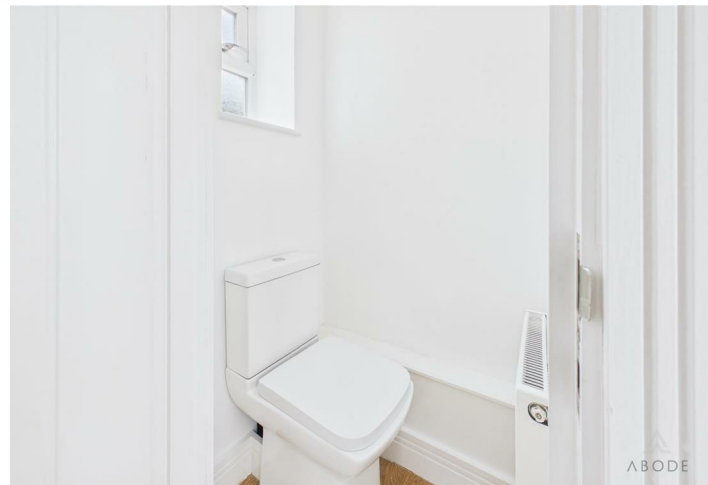
## Landing

Accessed via the staircase from the hallway, the landing includes a UPVC double-glazed frosted side window, loft access, smoke alarm, and doors leading to all bedrooms and the bathroom.

## Bedroom One

A generous double bedroom featuring a UPVC double-glazed bay window to the front elevation and a central heating radiator.







### Bedroom Two

A further double bedroom with a UPVC double-glazed window overlooking the rear elevation and a central heating radiator.

### Bedroom Three

A well-proportioned bedroom with a UPVC double-glazed window to the front elevation and central heating radiator.

### Bathroom

Fitted with a three-piece suite comprising low-level WC, pedestal wash basin with mixer tap, and panelled bath with electric shower over and glass screen. Additional features include tiled splashbacks, extractor fan, spotlighting to the ceiling, a chrome heated towel rail, and a UPVC double-glazed frosted window to the rear elevation.







Floor 0



Floor 1



**Approximate total area<sup>(1)</sup>**  
70.5 m<sup>2</sup>  
758 ft<sup>2</sup>

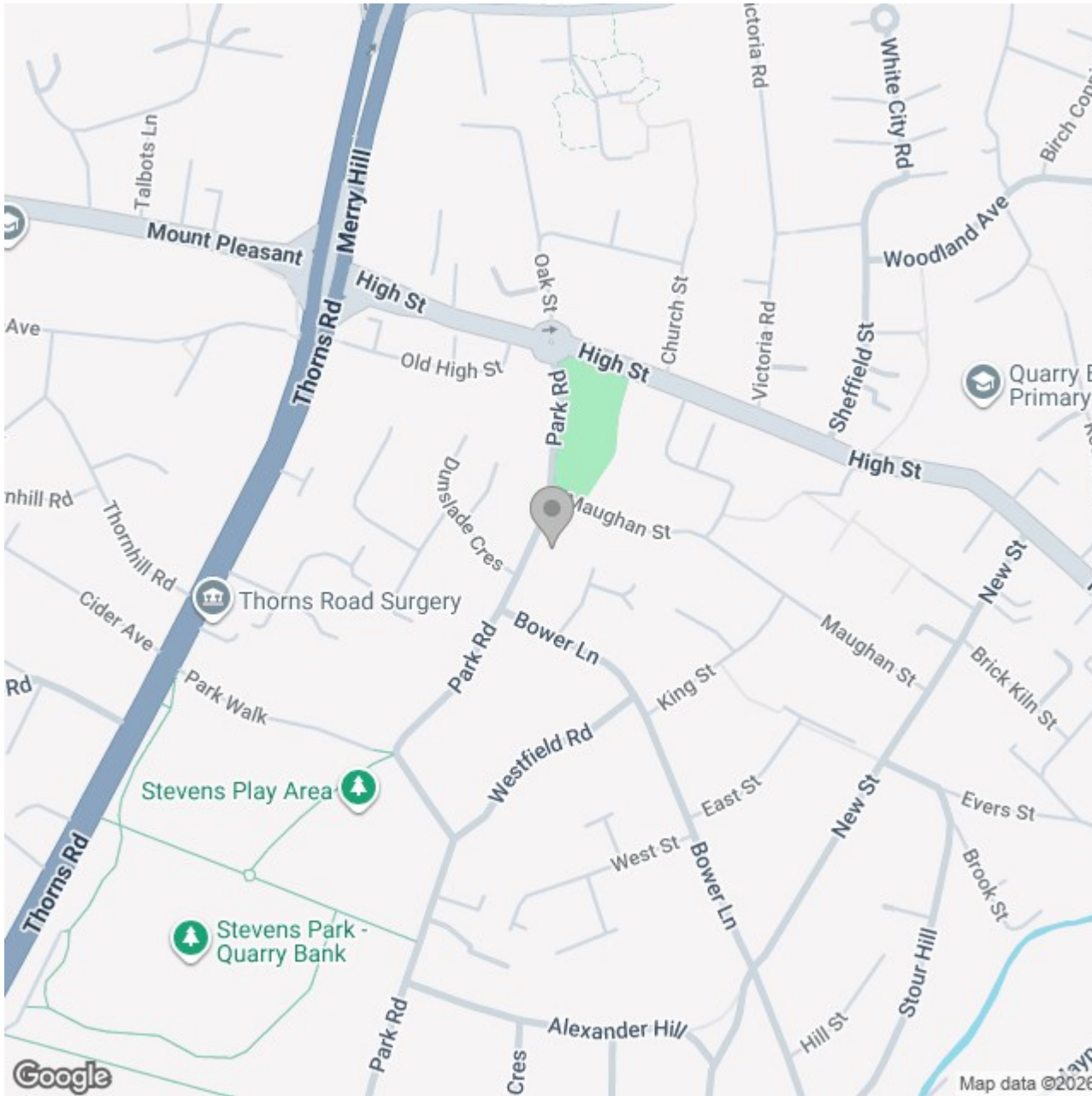
**Reduced headroom**  
1 m<sup>2</sup>  
10 ft<sup>2</sup>

(1) Excluding balconies and terraces

Reduced headroom  
Below 1.5 m/5 ft

Calculations reference the RICS IPMS 3C standard. Measurements are approximate and not to scale. This floor plan is intended for illustration only.

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## Energy Efficiency Rating

	Current	Potential
Very energy efficient - lower running costs		
(92 plus) <b>A</b>		
(81-91) <b>B</b>		
(69-80) <b>C</b>	70	78
(55-68) <b>D</b>		
(39-54) <b>E</b>		
(21-38) <b>F</b>		
(1-20) <b>G</b>		
Not energy efficient - higher running costs		
<b>England &amp; Wales</b>	EU Directive 2002/91/EC	